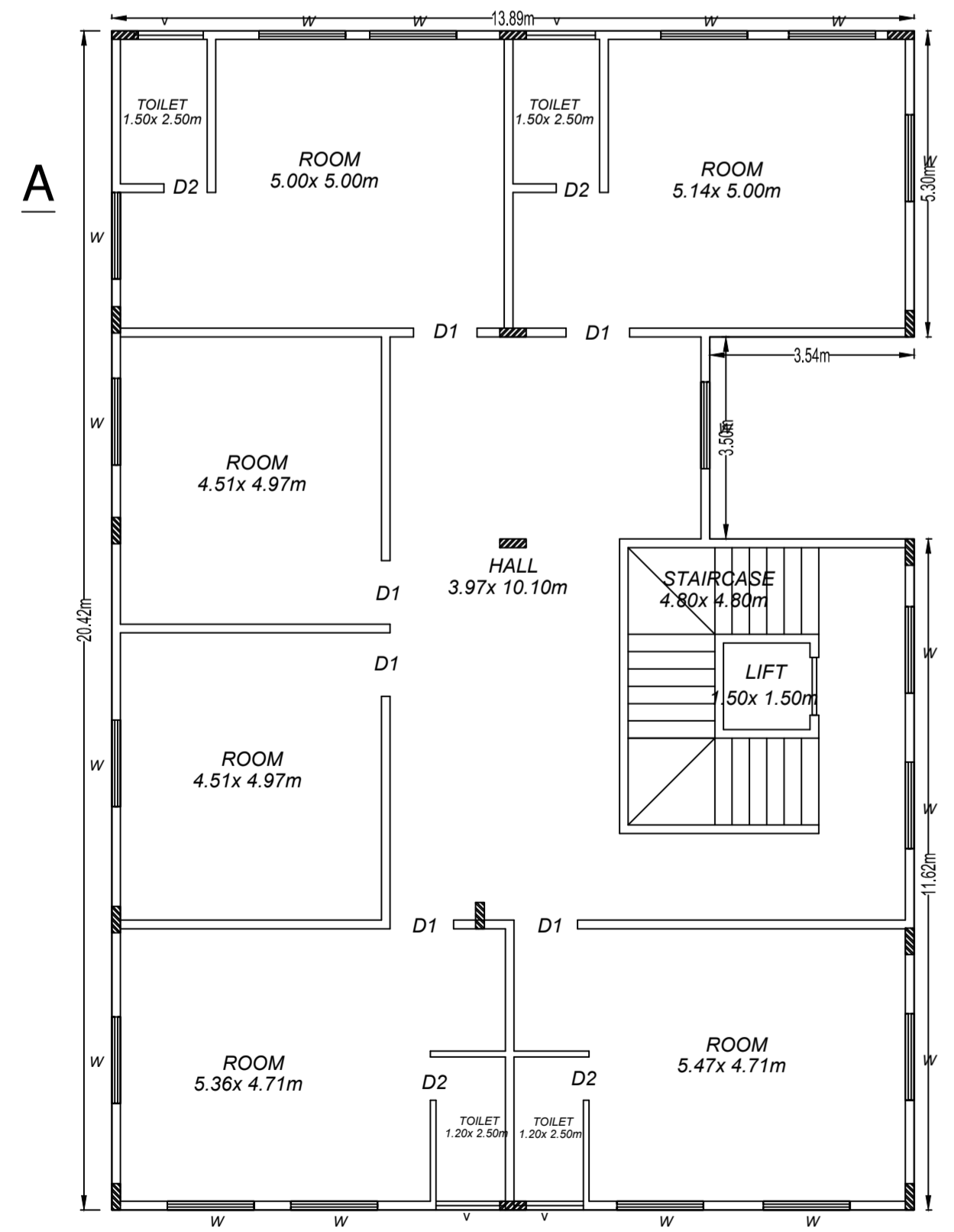


PROPOSED BASEMENT FLOOR PLAN



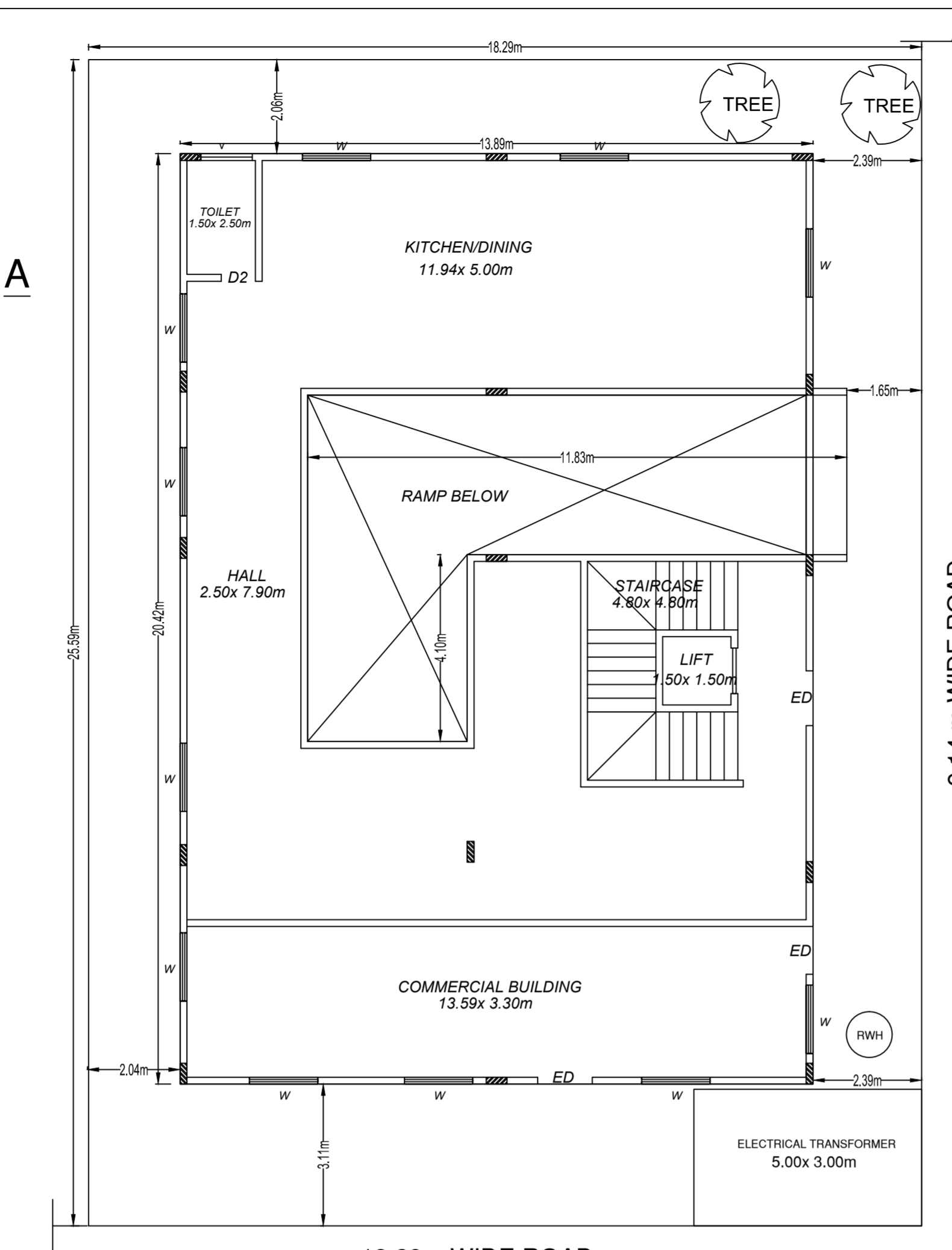
PROPOSED TYPICAL 2 & 3 FLOOR PLAN

SCHEDULE OF JOINERY:

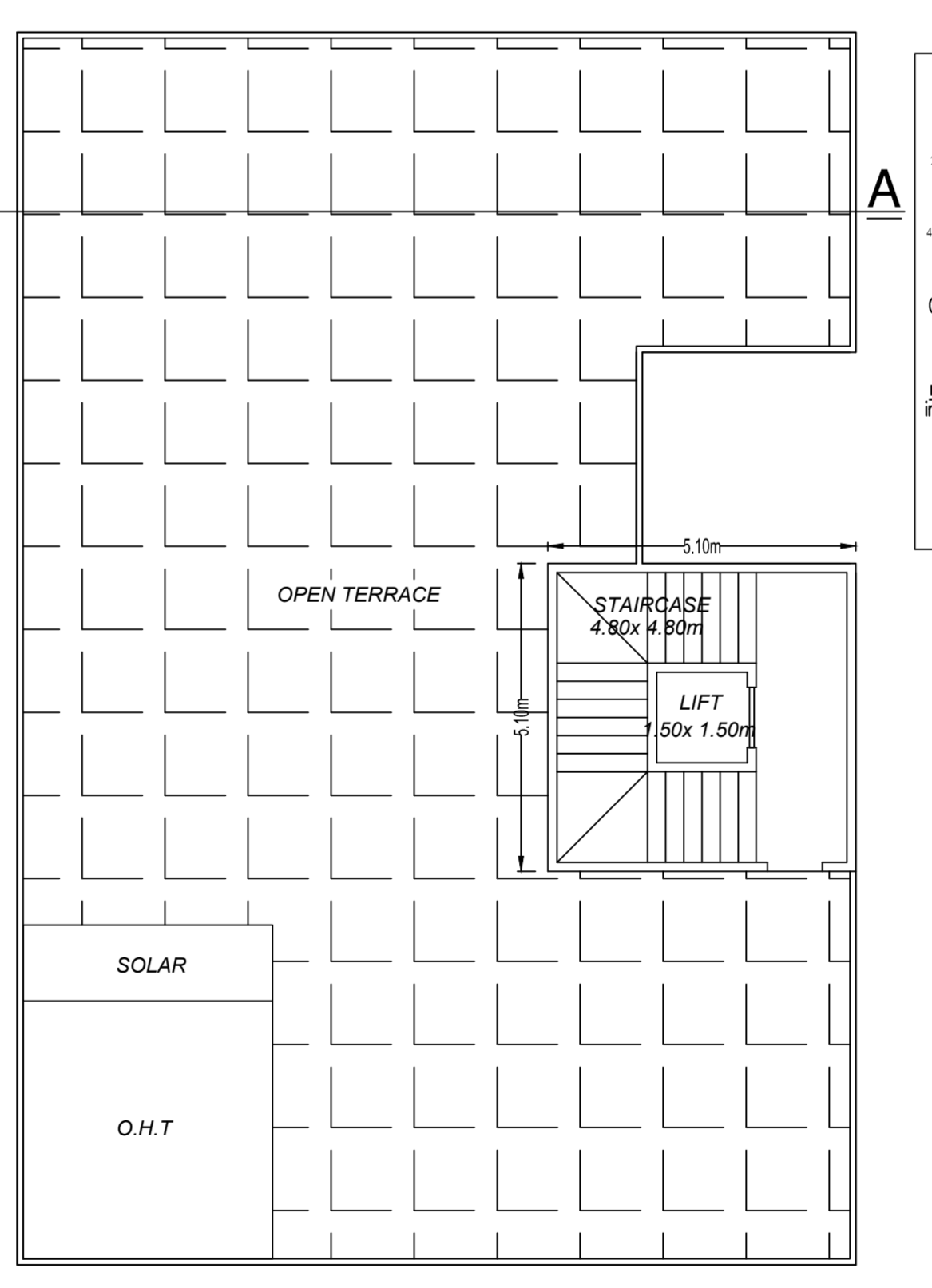
BLOCK NAME	NAME	LENGTH	HEIGHT	NOS
A1 (COMM PG)	D2	0.75	2.10	13
A1 (COMM PG)	D1	1.10	2.10	18
A1 (COMM PG)	ED	1.20	2.10	03

SCHEDULE OF JOINERY:

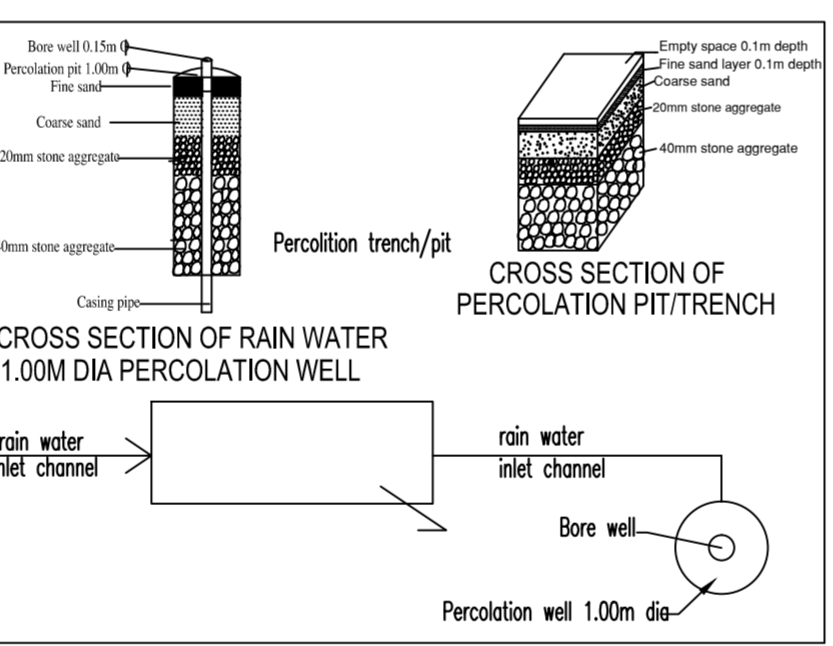
BLOCK NAME	NAME	LENGTH	HEIGHT	NOS
A1 (COMM PG)	V	1.20	1.20	16
A1 (COMM PG)	W	1.80	1.80	98



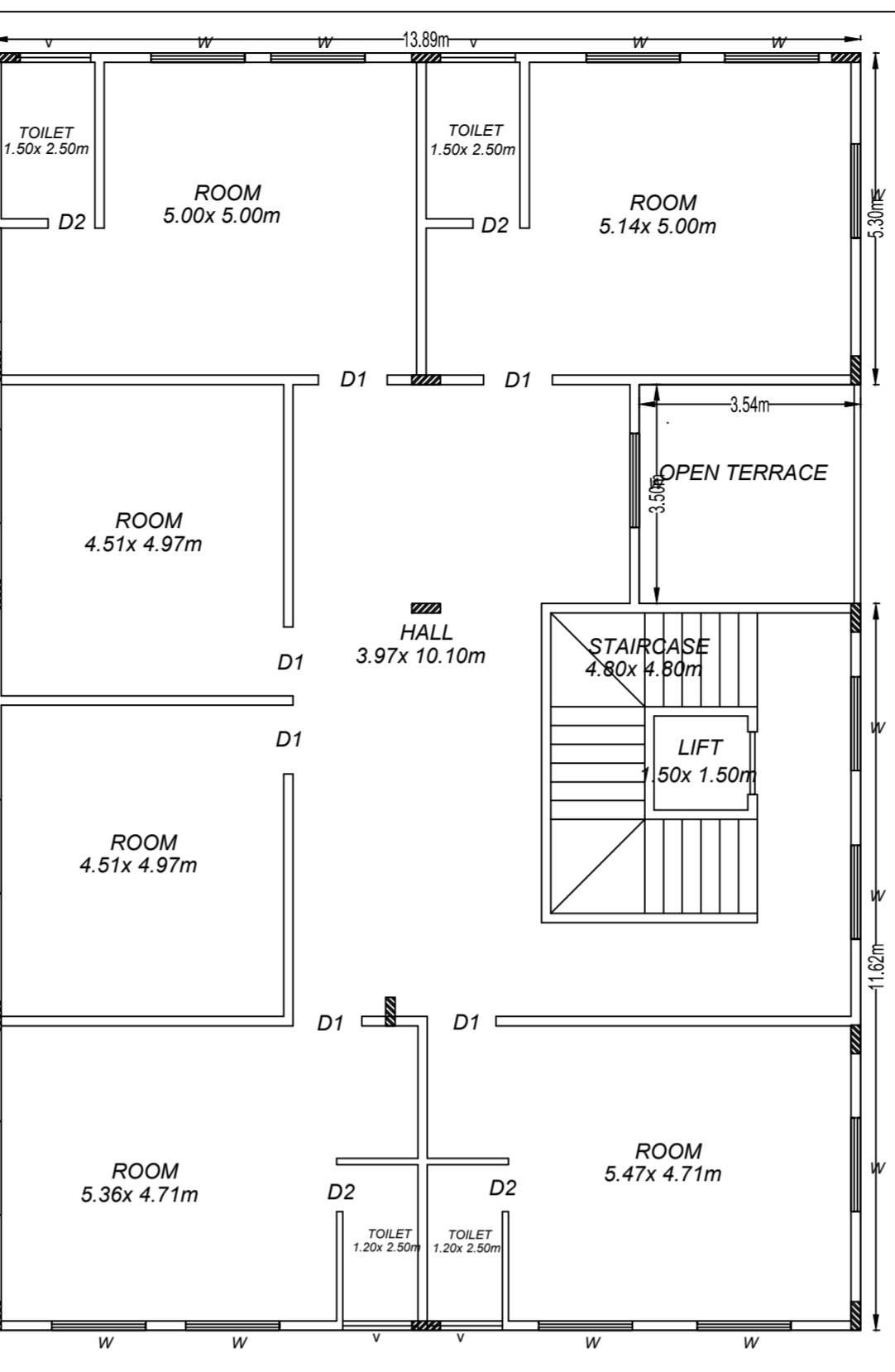
PROPOSED GROUND FLOOR PLAN



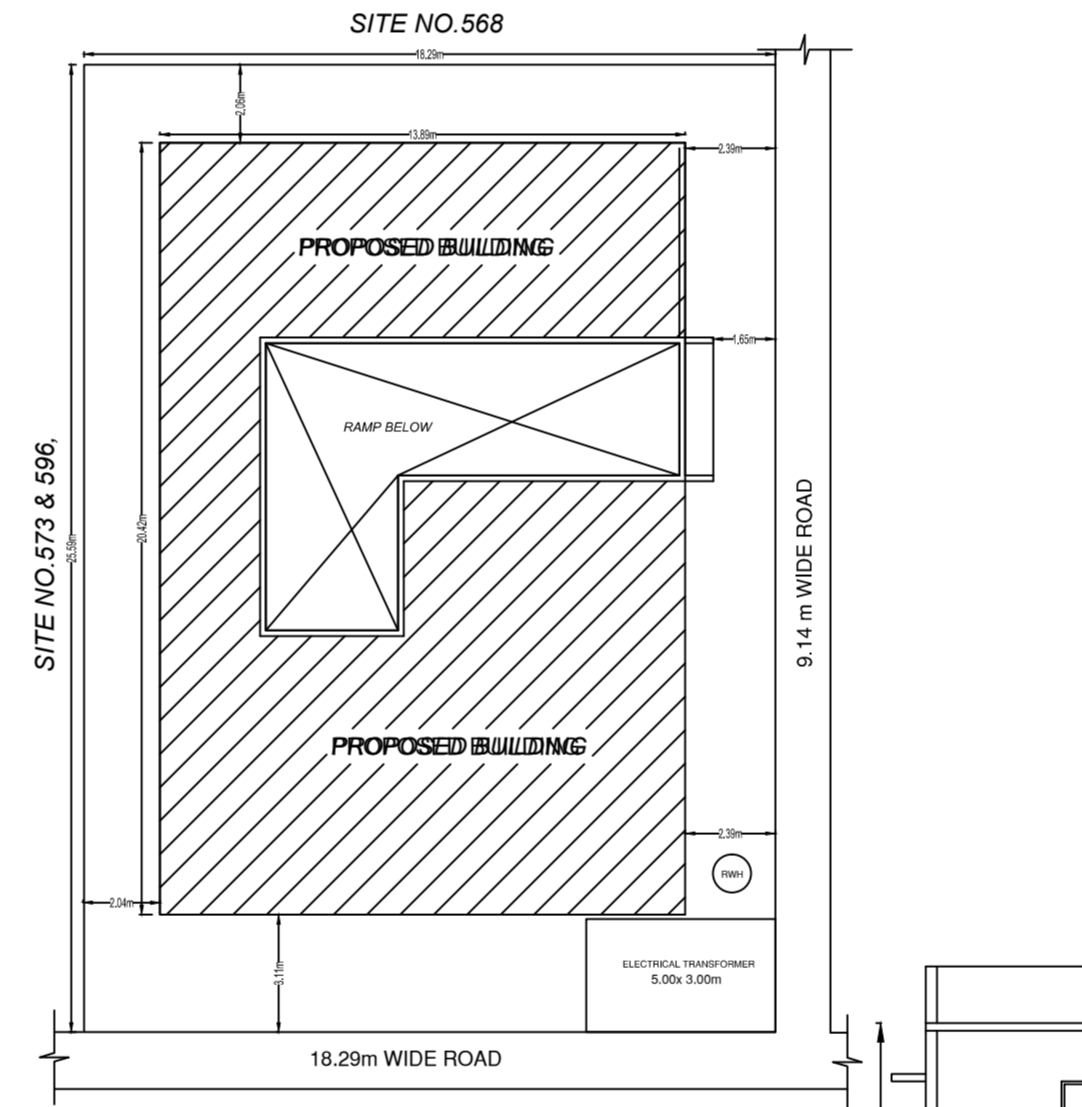
PROPOSED TERRACE FLOOR PLAN



CROSS SECTION OF PERCOLATION PIT/TRENCH



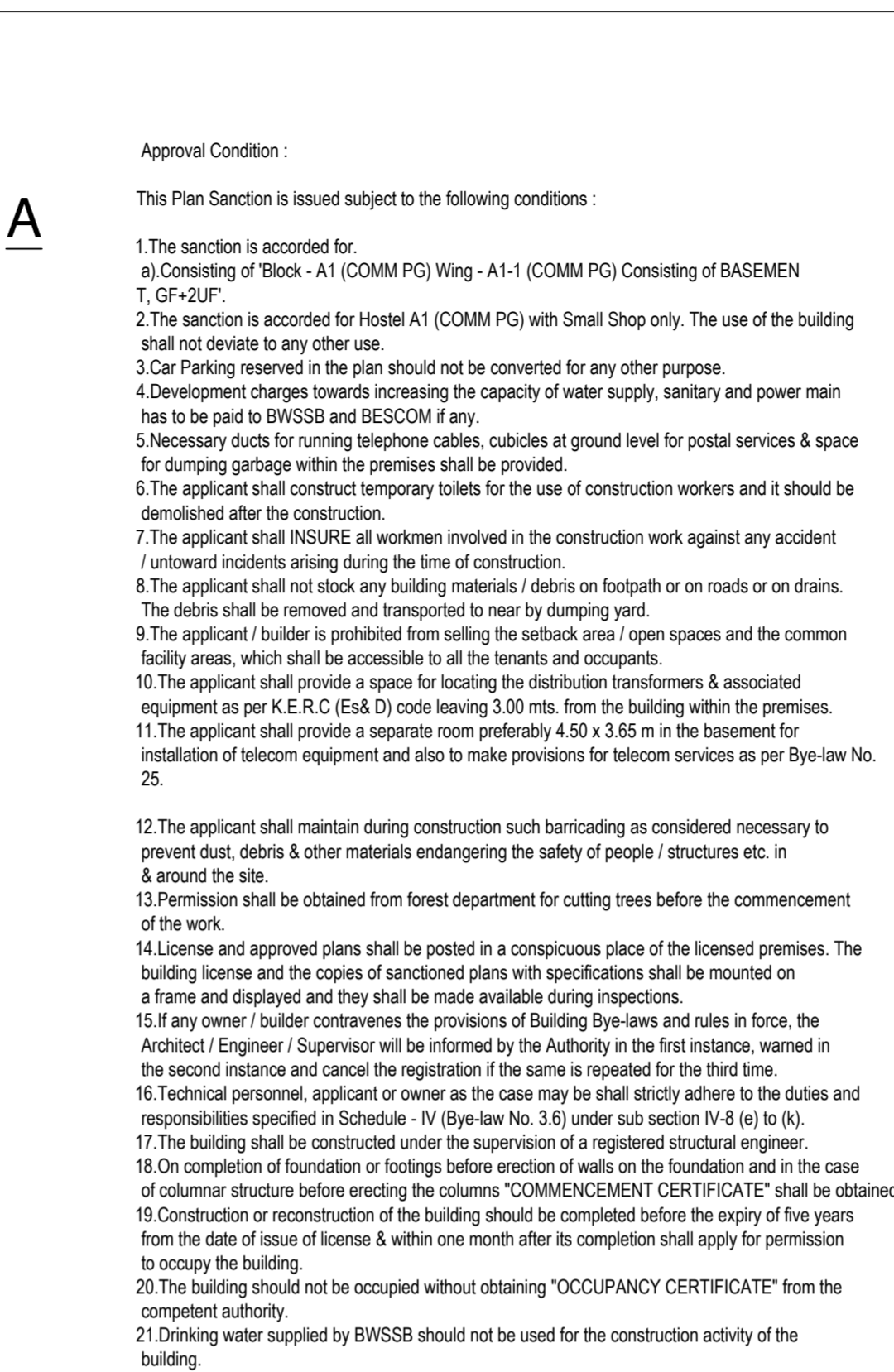
PROPOSED FIRST FLOOR PLAN



SITE PLAN (SCALE 1:200)



ELEVATION



SECTION@AA

FAR & Tenement Details

Block	No. of Same Bldg	Total Built Up Area (Sq.mt)	Deductions (Area in Sq.mt.)					Proposed FAR Area (Sq.mt.)		Total FAR Area (Sq.mt.)	Tmt (No.)	
			StairCase	Lift	Machine	Void	Ramp	Res.	Commercial			
A1 (COMM PG)	1	1476.50	84.51	11.25	2.25	52.65	67.21	273.29	936.16	49.17	985.34	01
Grand Total:	1	1476.50	84.51	11.25	2.25	52.65	67.21	273.29	936.16	49.17	985.34	100

Approval Condition :

This Plan Sanction is issued subject to the following conditions :

- The sanction is accorded for a) Consisting of Block - A1 (COMM PG) Wing - A1-1 (COMM PG) Consisting of BASEMENT, GF-2UF.
- The sanction is accorded for Hostel A1 (COMM PG) with Small Shop only. The use of the building shall not deviate to any other use.
- Car Parking reserved in the plan shall not be converted for any other purpose.
- Development charges towards increasing the capacity of water supply, sanitary and power main has to be paid to BWSSB and BESCOM if any.
- Necessary ducts for running telephone cables, cables at ground level for postal services & space for dumping garbage within the premises shall be provided.
- The applicant shall construct temporary toilets for the use of construction workers and it should be demolished after the construction.
- The applicant shall INSURE all workmen involved in the construction work against any accident / untoward incidents arising during the time of construction.
- The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to near by dumping yard.
- The applicant is prohibited from selling the setback area / open spaces and the common facility areas, which shall be accessible to all the tenants and occupants.
- The applicant shall provide a space for locating the distribution transformers & associated equipment as per K.E.R.C (E&D) code leaving 3.00 mts. from the building within the premises.
- The applicant shall provide a separate room preferably 4.50 x 3.65 m in the basement for installation of telecom equipment and also to make provision for 'telecom services' as per Bye-Law No. 25.
- The applicant shall maintain during construction such barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. around the site.
- Permission shall be obtained from forest department for cutting trees before the commencement of the work.
- The Applicant / Owner / Developer shall abide by the collection of solid waste and its segregation as per solid waste management bye-law 2016.
- The applicant/owner/developer shall abide by sustainable construction and demolition waste management as per solid waste management bye-law 2016.
- The Applicant / Owners / Developers shall make necessary provision to charge electrical vehicles.
- The Applicant / Owner / Developer shall plant one tree for a) sites measuring 180 Sqm up to 240 Sqm b) minimum of two trees for sites measuring more than 240 Sqm. c) One tree for every 240 Sq.m of the FAR area as part thereof in case of Apartment / group housing / multi-dwelling unit/development plan.
- In case of any false information, misrepresentation of facts, or pending court cases, the plan sanction is deemed cancelled.
- Also see, building licence for special conditions, if any.
- Special Condition as per Labour Department of Government of Karnataka vide ADDENDUM (Hosdaga Hoodke) Letter No. LD/95LET/2013, dated: 01-04-2013 :
- Registration of Applicant / Builder / Owner / Contractor and the construction workers working in the construction site with the 'Karnataka Building and Other Construction workers Welfare Board' should be strictly adhered to.
- The Applicant / Builder / Owner / Contractor should submit the Registration of establishment and list of construction workers engaged at the time of issue of Commencement Certificate. A copy of the same shall also be submitted to the concerned local Engineer in order to inspect the establishment and ensure the registration of establishment and workers working at construction site or work place workers engaged by him.
- At any point of time No Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the 'Karnataka Building and Other Construction workers Welfare Board'.

- Sufficient two wheeler parking shall be provided as per requirement.
- Traffic Management Plan shall be obtained from Traffic Management Consultant for all high rise structures which shall be got approved from the Competent Authority if necessary.
- The Owner / Association of high-rise building shall obtain clearance certificate from Karnataka Fire and Emergency Department every two years with due inspection by the department regarding working condition of Fire Safety Measures installed. The certificate should be produced to the Corporation and shall get the renewal of the permission issued once in two years.
- The Owner / Association of high-rise building shall get the building inspected by empaneled agencies of the Karnataka Fire and Emergency Department to ensure that the equipment's installed are in good and workable condition, and an affidavit to that effect shall be submitted to the Corporation and Fire Force Department every year.
- The Owner / Association of high-rise building shall obtain clearance certificate from the Electrical Inspectorate every two years with due inspection by the Department regarding working condition of Electrical installation / Lifts etc., The certificate should be produced to the B.M.P. and shall get the renewal of the permission issued that once in two years.
- The Owner / Association of the high-rise building shall conduct two mock - trials in the building , one before the onset of summer and another during the summer and assure complete safety in respect of fire hazards.
- The Builder / Contractor / Professional responsible for supervision of work shall not shall not materially and structurally deviate the construction from the sanctioned plan, without previous approval of the authority. They shall explain to the owner s about the risk involved in contravention of the provisions of the Act, Rules, Bye-laws, Zoning Regulations, Standing Orders and Policy Orders of the B.M.P.
- The construction or reconstruction of a building shall be commenced within a period of two (2) years from date of issue of licence. Before the expiry of two years, the Owner / Developer shall give intimation to B.M.P. (Sanctioning Authority) of the intention to start work in the form prescribed in Schedule VI. Further, the Owner / Developer shall give intimation on completion of the foundation or footing of walls / columns of the foundation. Otherwise the plan sanction deemed cancelled.
- In case of Development plan, Parks and Open Spaces area and Surface Parking area shall be earmarked and reserved as per Development Plan issued by the Bangalore Development Authority.
- All other conditions and conditions mentioned in the work order issued by the Bangalore Development Authority while approving the Development Plan for the project should be strictly adhered to.
- The Applicant / Owner / Developer shall abide by the collection of solid waste and its segregation as per solid waste management bye-law 2016.
- The applicant/owner/developer shall abide by sustainable construction and demolition waste management as per solid waste management bye-law 2016.
- The Applicant / Owners / Developers shall make necessary provision to charge electrical vehicles.
- The Applicant / Owner / Developer shall plant one tree for a) sites measuring 180 Sqm up to 240 Sqm b) minimum of two trees for sites measuring more than 240 Sqm. c) One tree for every 240 Sq.m of the FAR area as part thereof in case of Apartment / group housing / multi-dwelling unit/development plan.
- In case of any false information, misrepresentation of facts, or pending court cases, the plan sanction is deemed cancelled.
- Also see, building licence for special conditions, if any.
- Special Condition as per Labour Department of Government of Karnataka vide ADDENDUM (Hosdaga Hoodke) Letter No. LD/95LET/2013, dated: 01-04-2013 :
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- The Applicant / Builder / Owner / Contractor should submit the Registration of establishment and list of construction workers engaged at the time of issue of Commencement Certificate. A copy of the same shall also be submitted to the concerned local Engineer in order to inspect the establishment and ensure the registration of establishment and workers working at construction site or work place workers engaged by him.
- At any point of time No Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the 'Karnataka Building and Other Construction workers Welfare Board'.

Note :

- Accommodation shall be provided for setting up of schools for imparting education to the children of construction workers in the labour camps / construction sites.
- List of children of workers shall be furnished by the builder / contractor to the Labour Department which is mandatory.
- Employment of child labour in the construction activities strictly prohibited.
- Obtaining NOC from the Labour Department before commencing the construction work is a must.
- B.M.P. will not be responsible for any dispute that may arise in respect of property in question.
- In case of the documents submitted in respect of property in question is found to be false or fabricated, the plan sanctioned same cancelled automatically and legal action will be initiated.

Required Parking (Table 7a)

Block Name	Type	SubUse	Area (Sq.mt)	Reqd.	Prop.	Regd./Utl.	Car	Reqd.	Prop.
A1 (COMM PG)	Residential	Hostel	> 0	10	18.00	1	2	-	-
A1 (COMM PG)	Commercial	Small Shop	> 0	50	49.17	1	1	-	-
Total:				60			3	5	

Parking Check (Table 7b)

Vehicle Type	No.	Reqd.		Achieved	
		Area (Sq.mt.)	No.	Area (Sq.mt.)	No.
Car	3	41.25	5	68.75	5
Total Car	3	41.25	5	68.75	5
TwoWheeler	-	27.50	0	0.00	0
Other Parking	-	-	-	204.54	-
Total:	-	68.75	5	273.29	5

Block USE/SUBUSE Details

Block Name	Block Use	Block SubUse	Block Structure	Block Land Use Category	No. of Room
A1 (COMM PG)	Residential	Hostel	Bldg upto 11.5 m. Ht.	R	16

UnitBUA Table for Block :A1 (COMM PG)

FLOOR	Name	UnitBUA Type	UnitBUA Area	Carpet Area	No. of Rooms	No. of Tenement
GROUND FLOOR PLAN	SPLIT split tenement	FLAT	986.57	939.68	2	2
FIRST FLOOR PLAN	SPLIT split tenement	OFFICE	49.17	44.95	1	0
TYPICAL - 2& 3 FLOOR PLAN	SPLIT split tenement	FLAT	0.00	0.00	11	0
Total:	-	-	1035.75	984.63	36	2

The plans are approved in accordance with the acceptance for approval by the Joint Commissioner (EAST) on date: 11/09/2020 vide lp number: BBMP/AD.COM/EST/0300/20-21 subject to terms and conditions laid down along with this building plan approval.

Validity of this approval is two years from the date of issue.

ASSISTANT DIRECTOR OF TOWN PLANNING (EAST)

BHRUHAAT BENGALURU MAHANAGARA PALIKE

Color Notes

COLOR INDEX

AREA STATEMENT (B.M.P.)	VERSION NO. : 1.0 13
PROJECT DETAIL:	VERSION DATE: 26/06/2020
Authority: B.M.P.	Plot Use: Commercial
Inward No: BBMP/Ad.Com./EST/0300/20-21	Plot SubUse: Small Shop
Application Type: General	Land Use Zone: Residential (Main)
Proposal Type: Building Permission	Prop/Su.Plot No: 572 & 569
Nature of Sanction: NEW	PID No. (As per Khata Extract): 97-3-572
Location: RING-II	Locality / Street of the property: SITE NO.572 & 569,3RD MAIN,2ND BLOCK, R.T.NAGAR,BANGALORE,IN WARD NO-33,(PID NO-97-3-572)
Building Line Specified as per Z.R.NA	
Zone: East	
Ward: Ward-033	
Planning District: 215-Mathikere	
AREA DETAILS:	
AREA OF PLOT (Minimum)	(A)
NET AREA OF PLOT	468.03
COVERAGE CHECK	
Permissible Coverage area (65.00 %)	304.22
Proposed Coverage Area (60.6 %)	283.64
Achieved Net coverage area (60.6 %)	283.64
Balance coverage area left (4.4 %)	20.58
FAR CHECK	
Permissible F.A.R. as per zoning regulation 2015 (2.25)	1063.07
Additional F.A.R within Ring I and II (for amalgamated plot -)	0.00
Allowable FAR Area (60% of Perm FAR)	0.00
Premium FAR for Plot within Impact Zone (-)	0.00
Total Perm. FAR area (2.25)	1063.07
Residential FAR (95.01%)	936.17
Commercial FAR (4.99%)	49.17
Proposed FAR Area	985.35
Achieved Net FAR Area (2.11)	985.35
Balance FAR Area (0.14)	67.72
BUILT UP AREA CHECK	
Proposed BuiltUp Area	1476.50
Substructure Area Add in BUA (Layout Lvl)	14.98
Achieved BuiltUp Area	1491.48

Payment Details

Sr.No.	Challan Number	Receipt Number	Amount (INR)	Payment Mode	Transaction Number	Payment Date	Remark
1	BBMP/6648/CH/20-21	BBMP/6648/CH/20-21	1050	Online	10662671747	07/08/2020	-
	No.	Head	Amount (INR)	Remark			
	1	Scrutiny Fee	1050				

Block :A1 (COMM PG)

Floor Name	Total Built Up Area (Sq.mt)	Deductions (Area in Sq.mt.)					Proposed FAR Area (Sq.mt.)		Total FAR Area (Sq.mt.)	Tmt (No.)
		StairCase	Lift	Lift Machine	Void	Ramp	Res.	Commercial		
Terrace Floor	28.26	26.01	0.00	2.25	0.00	0.00	0.00	0.00	0.00	00
Third Floor	271.25	12.60	2.25	0.00	0.00	0.00	256.40	0.00	256.40	00
Second Floor	271.25	12.60	2.25	0.00	0.00	0.00	256.40	0.00	256.40	00
First Floor	271.25	12.60	2.25	0.00	0.00	0.00	256.40	0.00	256.40	00
Ground Floor	283.64	12.60	2.25	0.00	52.65	0.00	166.96	49.17	216.14	01
Basement Floor	359.85	8.10	2.25	0.00	0.00	67.21	273.29	0.00	0.00	00
Total:	1476.50	84.51	11.25	2.25	52.65	67.21	273.29	936.16	49.17	985.34
Total:	1476.50	84.51	11.25	2.25	52.65	67.21	273.29	936.16	49.17	985.34

OWNER / GPA HOLDER'S SIGNATURE

OWNER'S ADDRESS WITH ID NUMBER & CONTACT NUMBER : NEETU GARG S. 572 & 569,3RD MAIN,2ND BLOCK, R.T.NAGAR,BANGALORE,IN WARD NO-33,(PID NO-97-3-572) SITE NO.572 & 569,3RD MAIN,2ND BLOCK,

ARCHITECT/ENGINEER: SUMA H L NO. 2 CROSS, STERLING APARTMENT, P. O. VANA, SAHAKAR NAGAR, BANGALORE E-3140/2007-0

DRAWING TITLE : 1031440027-08-07-2020 11-15-27\$ NEETU GARG R T NAGAR :: A1 (COMM PG) WITH

SHEET NO : 1 BASEMENT, GF-2UF